



PILGRIM
HOUSE



pilgrim-house.co.uk

MODERN LIVING AT
AFFORDABLE PRICES





WORK & REST

In perfect harmony

Pilgrim House is comprised of an elegant collection of contemporary 1 & 2 bedroom apartments, finished to a high quality specification.

Surrounded by local amenities, restaurants and good transportation links, Pilgrim House's central location is perfectly placed for today's busy professional. It's only a three-minute walk to the train station and seven minutes to the town centre and shopping mecca – West Quay. Pilgrim House is also just a short stroll from the Green Flag award-winning Watts Park and Andrews Park, two of Southampton's beautiful and well-manicured green areas.

The images featured here are rendered to give an impression of the design only and are subject to change without notice.





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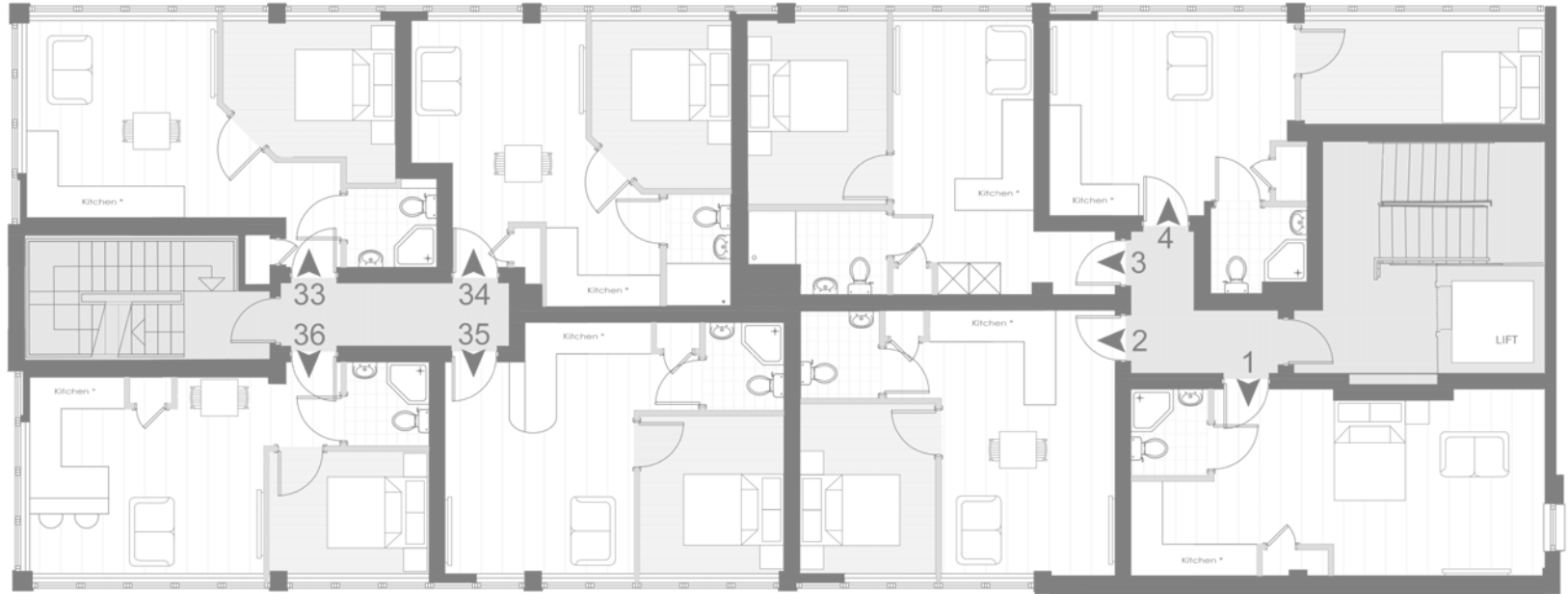
PILGRIM HOUSE



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FIRST FLOOR



First Floor			
Unit Type	Number	Area (sqm)	Area (sqft)
Studio	1	27.40	294.9
1 Bedroom	2	30.80	331.5
1 Bedroom	3	30.45	327.8
1 Bedroom	4	30.55	328.8
1 Bedroom	33	31.60	340.1
1 Bedroom	34	30.65	329.9
1 Bedroom	35	30.50	328.3
1 Bedroom	36	30.25	325.6

*Please refer to kitchen specification.
Unit specific kitchen layouts available upon request.

SECOND FLOOR



Second Floor			
Unit Type	Number	Area (sqm)	Area (sqft)
2 Bedroom	5	49.25	530.1
1 Bedroom	6	39.60	426.3
1 Bedroom	7	30.80	331.5
1 Bedroom	8	30.45	327.8
1 Bedroom	9	31.55	339.6
1 Bedroom	37	31.60	340.1
1 Bedroom	38	30.65	329.9
1 Bedroom	39	30.50	328.3
1 Bedroom	40	30.25	325.6

*Please refer to kitchen specification.
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Unit layouts and specifications are subject to change without notice.

THIRD FLOOR

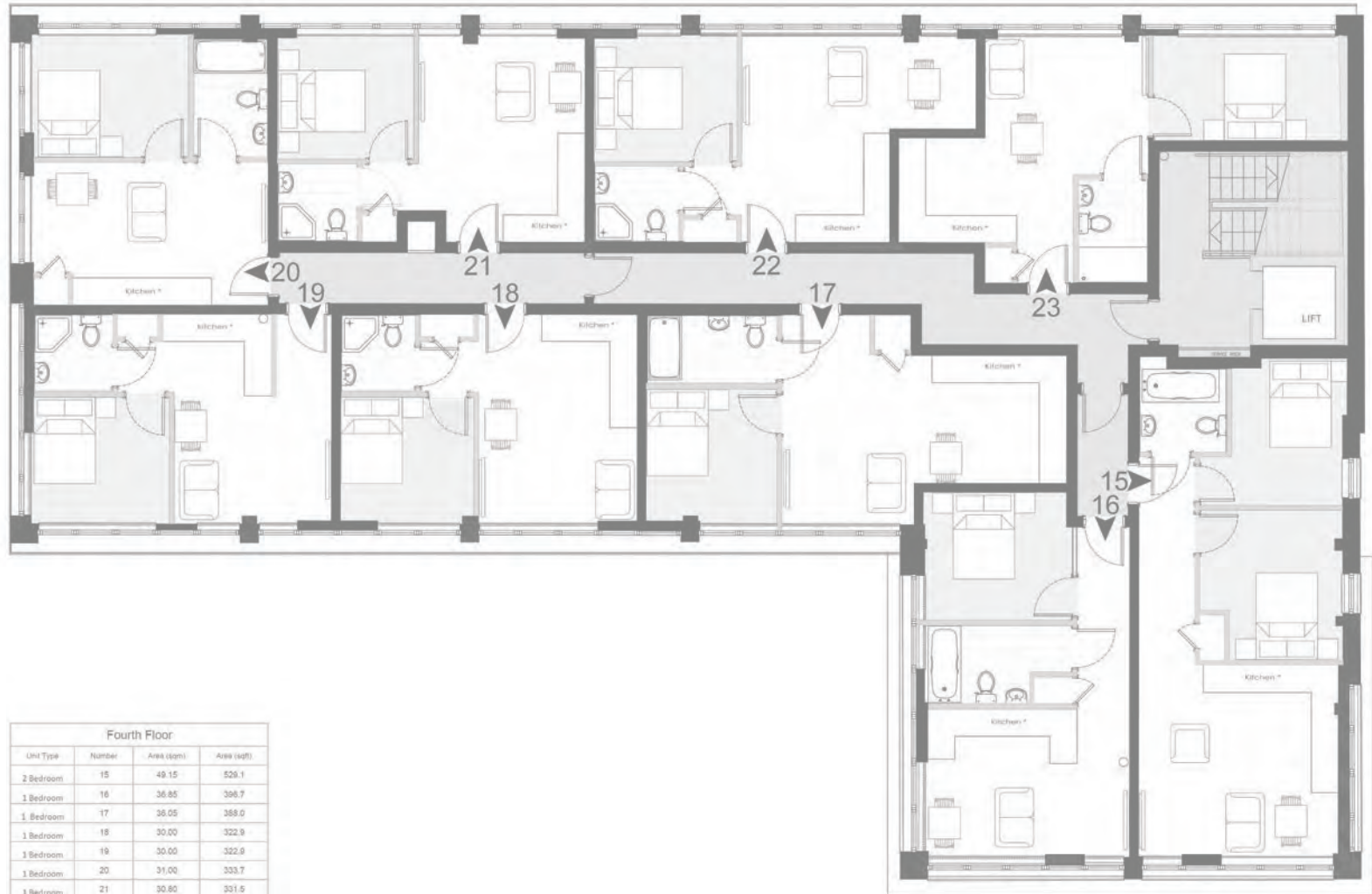


Third Floor			
Unit Type	Number	Area (sqm)	Area (sqft)
2 Bedroom	10	49.25	530.1
1 Bedroom	11	39.60	426.3
1 Bedroom	12	30.80	331.5
1 Bedroom	13	30.45	327.8
1 Bedroom	14	31.55	338.6
1 Bedroom	41	31.60	340.1
1 Bedroom	42	30.69	329.9
1 Bedroom	43	30.50	328.3
1 Bedroom	44	30.25	325.8

*Please refer to kitchen specification.
Unit specific kitchen layouts available upon request.



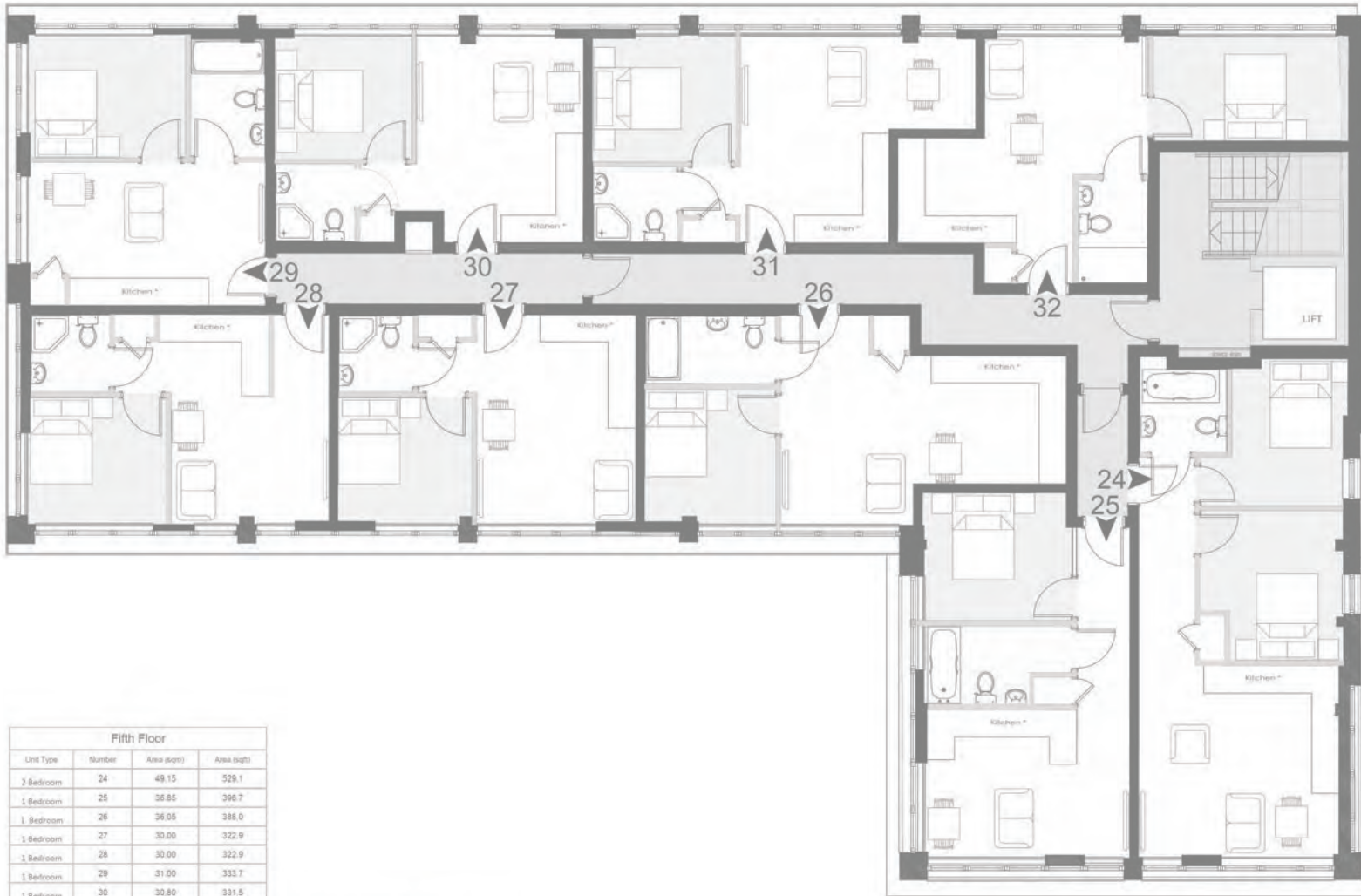
FOURTH FLOOR



Fourth Floor			
Unit Type	Number	Area (sqm)	Area (sqft)
2 Bedroom	15	49.15	529.1
1 Bedroom	16	36.85	396.7
1 Bedroom	17	38.05	408.0
1 Bedroom	18	30.00	322.9
1 Bedroom	19	30.00	322.9
1 Bedroom	20	31.00	333.7
1 Bedroom	21	30.80	331.5
1 Bedroom	22	34.20	368.1
1 Bedroom	23	34.40	370.3

*Please refer to kitchen specification.
Unit specific kitchen layouts available upon request.

FIFTH FLOOR



Fifth Floor			
Unit Type	Number	Area (sqm)	Area (sqft)
2 Bedroom	24	49.15	529.1
1 Bedroom	25	36.85	398.7
1 Bedroom	26	36.05	388.0
1 Bedroom	27	30.00	322.9
1 Bedroom	28	30.00	322.9
1 Bedroom	29	31.00	333.7
1 Bedroom	30	30.80	331.5
1 Bedroom	31	34.20	368.1
1 Bedroom	32	34.40	370.3

*Please refer to kitchen specification.
Unit specific kitchen layouts available upon request.



TITAN PROPERTY DEVELOPMENTS

Titan Property Developments is leading the way in creating high quality, modern living spaces exclusively designed for today's busy professional. Our properties are conveniently located close to major transportation hubs, providing homes that offer all the benefits of modern urban living. Using innovative design platforms, we are able to offer high-specification modern homes at competitive prices. Our interiors are sleek and sophisticated and reflect the aspirations of our residents.



titan-property.co.uk

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MAIN BUILDING STRUCTURE

SUPER STRUCTURE

Concrete and Steel frame on existing foundations.

BUILDING ENVELOPE

External wall with quality cladded finish.

FLOOR STRUCTURE

Concrete and composite floors. Please refer to Flooring for defined floor finishes.

ROOF STRUCTURE

High-performance flat roof overlaid; with Single-ply membrane.

WINDOWS & DOORS

Double-glazed on ground to third floor and triple glazed on fourth and fifth floor, aluminium windows. Finished with a durable power coat paint.

STAIRS

Concrete and timber stairs in communal areas with handrails.

PARTY WALLS

Party walls constructed from timber studwork from ground to third floors and metal studwork on fourth and fifth floors finished with plasterboard on each side and acoustic insulation to appropriate building regulation requirements.

INTERNAL WALLS

Internal walls constructed from timber studwork from ground to third floors and metal studwork on fourth and fifth floors finished with plasterboard on each side and acoustic insulation to appropriate building regulation requirements.

CEILINGS

Suspended plasterboard finished and painted.

FLOORING

Pre-finished engineered wood, white washed floor boards to kitchen, living, and dining. Fitted carpets to bedrooms and communal areas.

DECORATION

All internal walls painted with washable emulsion. Skirting, door frames painted with satin paint finish.

KITCHENS

Laminated black coloured work surface fitted with stainless steel sink and chrome mixer deck mounted tap. Black coloured laminate splashbacks. Integrated appliances, that can be a combination of multifunction electric oven, induction hob and telescopic extractor hood, fridge-freezer and combined washing machine / tumble dryer.

BATHROOMS - MASTER

Fitted with wash basin vanity unit and chrome finish mixer tap. Shower with chrome finish fittings. Heated towel rail. Perimeter bathroom walls finished in white gloss ceramic wall tile, with slate style feature strips. Grey ceramic tiled floor finish.

HEATING, COOLING AND HOT WATER

Individually metered electric system providing heating and mains pressure hot water to each individual unit.

ELECTRICS

LED lights to to all areas, switch plates and sockets in accordance with IEE regulations. TV/FM and telephone

points for high speed broadband internet access in living room. Satellite TV connection points in the living room. Smoke/heat detectors fitted as standard. (Residents are responsible for their own connections and related charges for cost of services.)

MANAGEMENT & SECURITY

Entry phone system connected to main entrance door and multi point entry door locking system.

FIXTURES & FITTINGS

KITCHEN

Oven

European manufactured multi functional, integrated single electric oven

Location: All apartment kitchens

HOB

European manufactured frameless glass 4 ring integrated ceramic induction hob

Location: All apartment kitchens

Integrated Fridge Freezer

European manufactured integrated fridge freezer

Location: All apartment kitchens

Deck Mounted Kitchen Sink Mixer

Lever mixer with controls to front or to the side pending kitchen layout

Finish: Polished Chrome

Location: Deck mounted to all apartment kitchen work tops

Kitchen Extractor

European manufactured integrated telescopic extractor fan

Location: All apartment kitchens

Kitchen Sink

Stainless steel deck mounted sink

Finish: Stainless steel

Location: All apartment kitchens

Washing Machine

Integrated European manufactured washer / dryer.

Location: type integrated kitchen

BATHROOMS

Deck Mounted Basin Mixer

Mixer tap

Finish: Polished Chrome

Location: All apartment bathrooms

Deck Mounted Bath Mixer with Shower Set

Thermostatic bath and shower mixer with flexible slide rail kit

Finish: Polished Chrome

Location: Selected apartment bathrooms

Wall Mounted Shower Set

Thermostatic shower mixer with flexible slide rail kit

Finish: Polished Chrome

Location: Selected apartment bathrooms

Heated Towel Rail

Tubular profiled heated ladder towel rail

Finish: Polished Chrome

Location: All apartment bathrooms

Toilet Roll Holder

Tubular profiled tissue holder

Finish: Polished Chrome

Location: All apartment bathrooms

WC

Sanitary grade porcelain

Finish: Glazed white

Location: All master bathrooms and other selected bathrooms

Lever Flush

Generally concealed cistern with button push

Finish: Polished Chrome

Location: All apartment bathrooms

Vanity Washbasin

Vanity unit cabinet

Finish: Glazed white

Location: Master bathroom

Integrated Bath

Built in white single ended

Finish: White

Location: Selected apartment bathrooms

Shower Tray

Shower tray

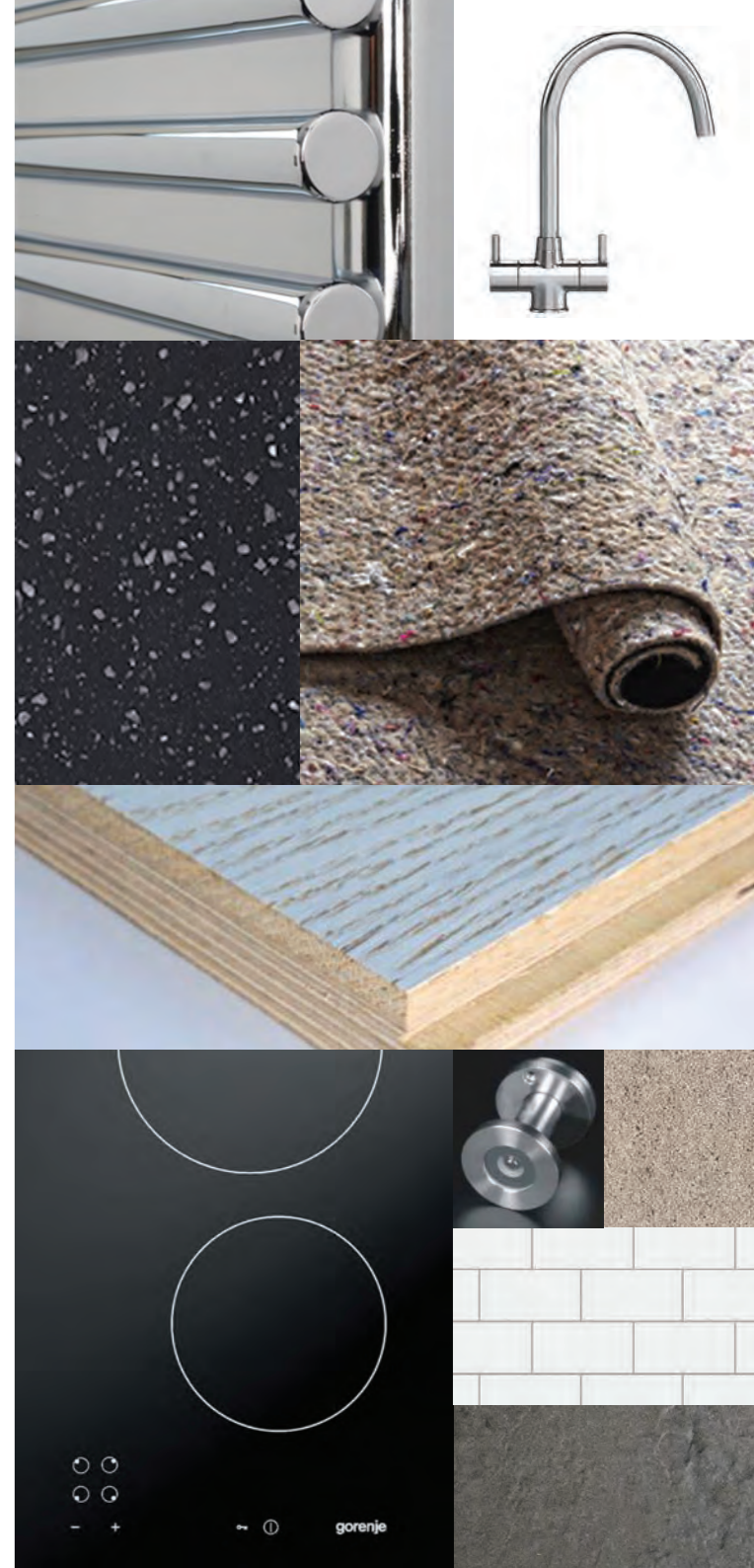
Finish: White

Location: All shower rooms

DISCLAIMER

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The specification of the apartments is the anticipated specification as at the date this brochure was prepared, but may be subject to change in accordance with permitted variances under the apartment sale contracts. Dimensions shown in any text or plan are approximate sizes only and actual sizes may be different once constructed (although it is not anticipated that any apartments will be reduced by more than 5% in size). Computer generated images and photos are indicative only. All sales remain subject to contract. Furniture shown in Computer Generated Images and photos is not included in sales. Pilgrim House is a marketing name only and will not necessarily form part of the approved postal address. Neither the agents nor any person in their employment has any authority to make or give any representation warranty or guarantee (whether written or oral) in respect of or in relation to the development (or any parts thereof).





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In perfect harmony

Pilgrim House is situated conveniently close to Southampton Central Train station, which connects to London Waterloo with a one hour 20 minute service. With easy access to the M3 and M27, the connectivity to London by road is also excellent.

Southampton, located on the south coast of England, is the largest city in Hampshire. It's 75 miles (121 km) southwest of London and 19 miles (31 km) northwest of Portsmouth. In addition, the new City Deal will provide £953 million of investment into Southampton and Portsmouth, creating more than 17,000 jobs.



For more information contact

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Call 023 8022 5155 or email: Southampton@sequencehome.co.uk



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